

Public Document Pack

NORTH & EAST PLANS PANEL 21ST NOVEMBER 2023
PRESENTATION SLIDES

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NORTH & EAST PLANS PANEL

THURSDAY, 16TH NOVEMBER 2023

Page 3



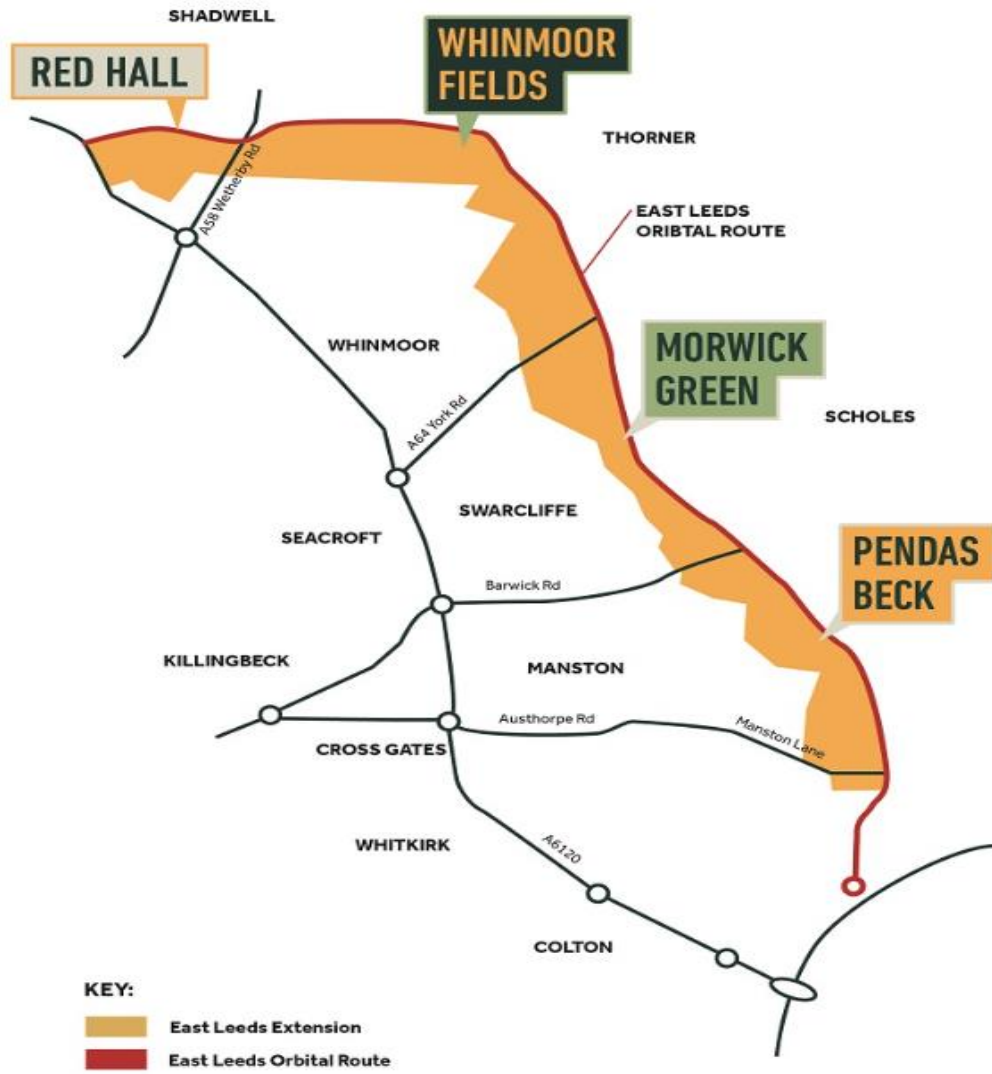
Agenda Item 7

APPLICATION:22/05970/RM

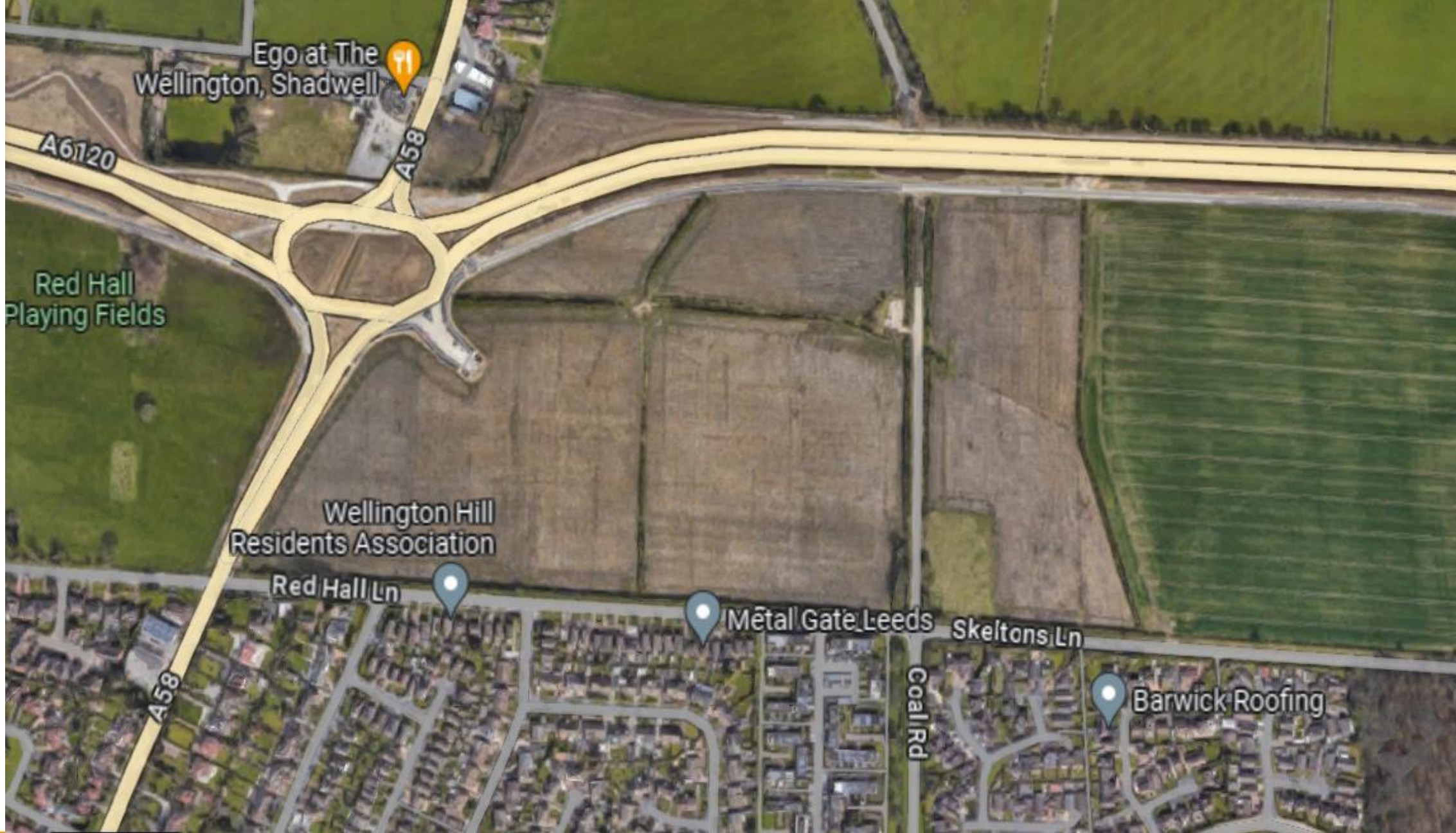
PROPOSAL: Reserved Matters Application for residential development of 407 dwellings at Phase A of the Northern Quadrant to approve details in relation to access (save for those details approved by the Outline permission), layout, scale, appearance and landscaping (Condition 1) pursuant to Outline Planning permission 12/02571/OT

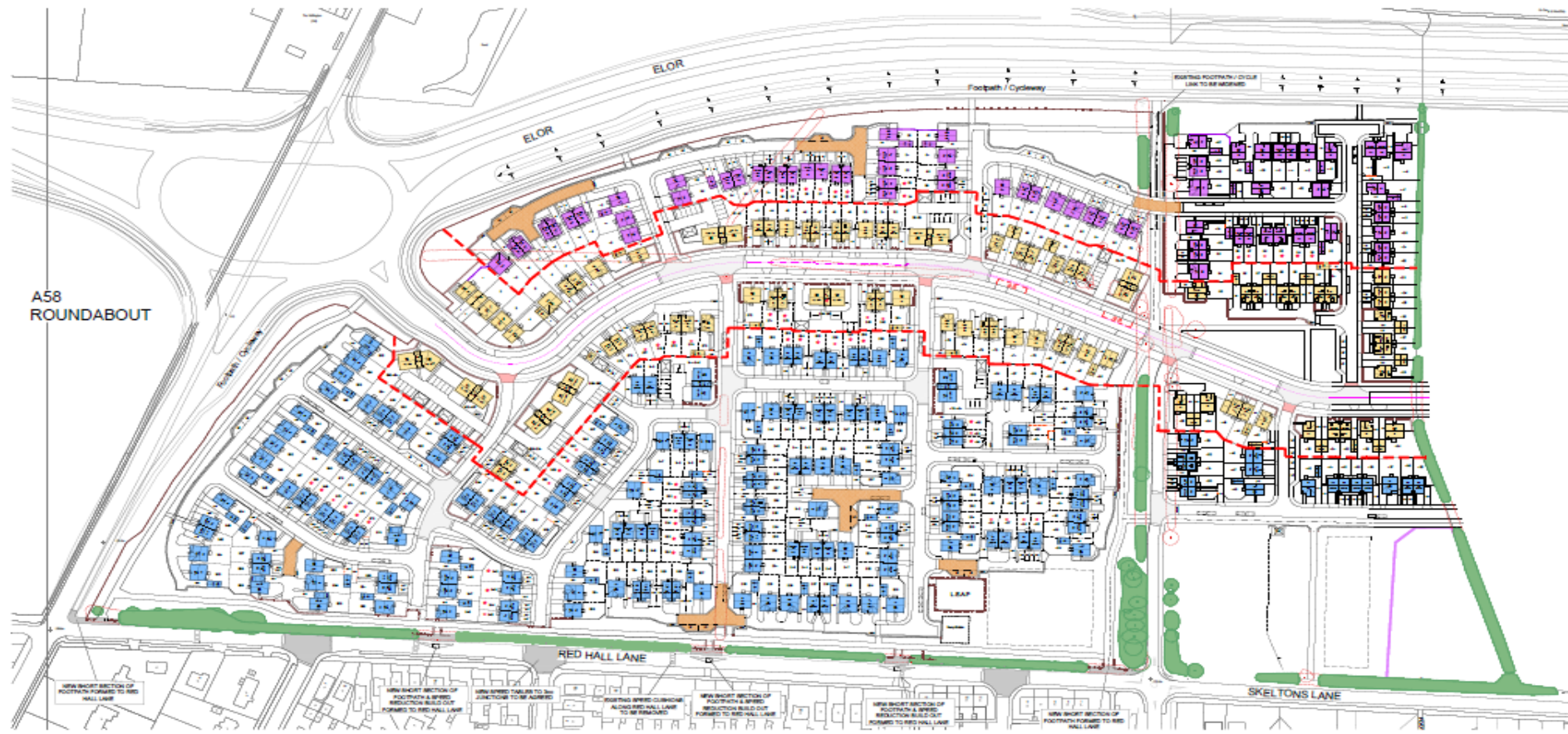
ADDRESS: Phase A Of The North Quadrant, Part Of The East Leeds Extension, York Road, Leeds, LS14











Urban Edge

External Materials:

- Red brick
- Grey roof tiles
- Grey / Anthracite window & door frames to all elevations
- Black rainwater goods

Housetype Detail:

- Brick heads & cills to all elevations
- Brick band course to ground floor cill
- Plain sash style windows to front & dual elevational dwellings
- Predominantly flat canopies with some lean to
- Projecting eaves

Contemporary

External Materials:

- Mainly red brickwork with buff brick in key positions
- Decorative Boarding
- Rendered panels
- Mainly Red with grey tiles to red brick properties
- Grey / Anthracite window & door frames to all elevations
- Black rainwater goods

Housetype Detail:

- Flat brick heads & cills to all windows within brickwork panels to all elevations
- Plain casement windows
- Flat canopies
- Flat roof dormers
- Projecting eaves

Rural Edge

External Materials:

- Buff brickwork
- Red roof tiles
- Grey / Anthracite window & door frames to all elevations
- Black rainwater goods

Housetype Detail:

- Flat artstone heads & cills to front & dual elevations
- Brick heads & cills to side and rear elevations
- Artstone band course to ground floor cill
- Gash style windows
- Predominantly peak canopies with some lean-to canopies
- Peak roof dormers
- Projecting eaves

Rev 9 - C28 - 22.08.23 - Updated title with latest planning input (Rev 6)
 Rev A - C2 - 22.07.23 - Plans 208 & 217 changed to Galtonys

Persimmon
 Together, we make your home

Proposed Development
 NORTH QUADRANT
 ADDRED HALL LANE
 LEEDS

PROPOSED CHARACTER AREA PLAN

Scale: 1:1000 @ A1	Drawing Number: WCD-0102-05 Rev 9
Drawn By: CJS	Checked By: SAC
	MAY 2022





KEY:

- Rural Edge Housetypes
- Contemporary Housetypes
- Contemporary 3 Storey / Prominent positions
- Urban Edge Housetypes
- Urban Edge 3 Storey / Prominent positions
- Green Space
- Footpath & Cycle links
- Denotes boundary between housetype ranges



Persimmon <small>Together, we make your home</small>	
<small>Proposed Development NORTH QUADRANT ASSRID HALL LANE LEEDS</small>	
<small>PROPOSED WAYFINDING PLAN</small>	
<small>Scale 1:1000 @ A1</small>	<small>Drawing Number H2D-2023-10 Rev 0</small>
<small>Drawn By CJB</small>	<small>Checked By SAC</small>
	<small>OCT 2023</small>



SCHEDULE OF ACCOMMODATION (PERSIMMON)

House type	No.	House type	No.	House type	No.	House type	No.
Cranborne 3 Storey 1 Bed Apartment	42	Sherwood 2 Storey 3 Bed Detached House	20	Tamar 2.5 Storey 3 Bed Semi detached / Terraced House	8	Bendisham 2 Storey 3 Bed Semi detached / Terraced House	12
Tarbock / Remeworthly 3 Storey 2 Bed Apartment	18	Barnwood 2 Storey 3 Bed Detached House	22	Emerald 2.5 Storey 4 Bed Semi detached	4	Calloway 2 Storey 3 Bed Semi detached / Terraced House	20
Haldon 2 Storey 2 Bed Semi detached / Terraced House	17	Charnwood 2 Storey 3 Bed Detached House	1	Winterfold M4(2) 2 Storey 2 Bed Semi detached / Terraced House	8	Kingly 2 Storey 3 Bed Detached House	31
Danbury 2 Storey 3 Bed Semi detached / Terraced House	80	Barnwood DT 2 Storey 4 Bed Detached House	6	Braunton 2.5 Storey 3 Bed Semi detached / Terraced House	10	Seaton 2.5 Storey 3 Bed Semi detached / Terraced House	22
				Brampton 2 Storey 3 Bed Detached House	8	Kingly Semi 2 Storey 3 Bed Semi detached	12
							Total = 407

Rev F - CJB - 12.02.23
Mx & layout amended inline with planning officer comments and internal discussion

Rev G - CJB - 25.06.23 Layout amended following consultation with engineer regarding drainage and footpath / cycle path from Coal Road realigned inline with as built position and Swales added.

Rev H - CJB - 05.07.23 Trees & Hedges updated inline with Landscape Masterplan and Kiosh Pail added to apartment amenity areas.

Rev E - CJB - 19.10.22 - Plans 1, 47, 48 & 103 boundaries that face ELOR have been amended to 1.5m Brick walls inline with Noise Impact assessment

Rev D - CJB - 02.06.23 - Updated inline with latest landscape masterplan

Rev C - CU - 29.07.22 - Proposed short section of footpath opposite junction of Red Hall Lane removed

Rev B - CU - 25.07.22 - M4(2) and M4(3) plots highlighted

Rev A - CU - 22.07.22 - Plans 326 & 327 changed to Gallopark Parking for Apartments 320-325 released from an street parking to a private parking court Red Hall Lane updated to show existing features and proposed enhancements, proposed tree locations updated in line with the latest landscaping plan and bin collection points added



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Proposed Development
NORTH QUADRANT
ASSFORD HALL LANE
LEEDS

PROPOSED OVERALL PLANNING LAYOUT

Scale 1:1000 @ A1 | Drawing Number H20-2023-01

Drawn By CJB | Rev H

Checked By SAC | MAY 2022

A58
ROUNDBABOUT



NEW SHORT SECTION OF FOOTPATH FORMED TO RED HALL LANE

NEW SHORT SECTION OF FOOTPATH & SPEED REDUCTION BUILD OUT FORMED TO RED HALL LANE

NEW SPEED TABLES TO THE JUNCTIONS TO BE AGREED

EXISTING SPEED CUSHIONS ALONG RED HALL LANE TO BE REMOVED

NEW SHORT SECTION OF FOOTPATH & SPEED REDUCTION BUILD OUT FORMED TO RED HALL LANE

NEW SHORT SECTION OF FOOTPATH & SPEED REDUCTION BUILD OUT FORMED TO RED HALL LANE





KEY:
Denotes Housing Association Dwellings



 Together, we make your home.	
Proposed Development NORTH QUADRANT ASBRED HALL LANE LEEDS	
AFFORDABLE MIX PLAN	
Scale 1:1000 @ A1	Drawing Number R02-2022-11 Rev 0
Drawn By CJB	Checked By MAY 2022



Note: All locations and species of trees/shrubs and hedgerows to be verified at detailed design stage

Landscape Masterplan North Quadrant, Leeds

Client: Persimmon Homes
 DRWG No: P21-2934_01 REV: D
 Drawn by: NF Approved by: KC
 Date: 15/06/2022
 Scale: 1:1000 @ A0



Rev	Date	By	Note
D	18/06/22	NF	Adjusted proposals due to comments from client
C	23/06/22	NF	Adjusted proposals due to comments from LECC
B	01/06/22	NF	Adjusted existing vegetation due to additional parking along Red Hall Lane
A	01/06/22	NF	Amended to new layout and client comments
-	15/06/22	NF	First issue



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Street Section 1-1 (Urban)



Street Section 2-2 (Rural)



Street Section 3-3 (Contemp)



Street Section 4-4 (Urban)



Street Section 5-5 (Contemp)



Indicative Layout (Not to scale)



Rev A - 07.06.23 - C.B
Updated inline with latest layout (Rev G)

<p>Together, we make your home</p>	
<p>Proposed Development NORTH QUADRANT ASBRED HALL LANE LEEDS</p>	
<p>Proposed Street scenes</p>	
<p>Scale 1:200 @ A1</p>	<p>Drawing Number NGD-2022-0701</p>
<p>Drawn By HUS</p>	<p>Checked By CJB</p>
<p>July 2022</p>	



Cranborne Front Elevation



Cranbourne Rear Elevation



Cranbourne Side Elevation



Cranbourne Side Elevation

Rev A - 14.09.23 - CUB
Windows added to gable ends

**PERSIMMON
HOMES**



House type	Date
Apartment	24.04.2023
Site Name	
Cranbourne- Contemp	
Drawing Number	
CRB-CON-NQ	1:100@A2
Elevations (Planning)	
	Formerly
	Rev A



Cranbourne Front Elevation



Cranbourne Rear Elevation



Cranbourne Side Elevation



Cranbourne Side Elevation

Rev A - 14.09.23 - CUB
Windows added to gable ends

**PERSIMMON
HOMES**



HouseType	Apartment	Date	24.04.2023
Site Name	Cranbourne- Urban		
Drawing Number	CRB-UR-NQ		1:100@A2
Elevations (Planning)			
	Formerly		
	Rev A		



Fernworthy Front Elevation



Tarbert Rear Elevation



Fernworthy Side Elevation



Tarbert Side Elevation

Rev A - 14.09.23 - CJB
Window added to Fernworthy Living room gable end

**PERSIMMON
HOMES**



HouseType	Date
Apartment	24.04.2023
Series Name	
Fer/Tar - Contemporary	
Drawing Number	1:100 @ A2
FER/TRB-CON-NQ	
Elevations (Planning)	
	Formerly
	Rev A



Figure 10.1 CGI street scene 1



Figure 10.2 CGI street scene 3



Figure 10.3 CGI street scene 4



Figure 10.4 CGI street scene 6

APPLICATION: 23/05615/FU

PROPOSAL: Single storey side extension; alterations to the rear including replacement of rear window with patio doors and associated steps; extension of existing patio area to rear with new balustrade, retaining wall and boundary treatment to side; demolition of the existing storage annex and detached garage to rear

ADDRESS: 277 Lidgett Lane, Gledhow, Leeds LS17 6PD





Mini Mermaid
Running Club UK

277 Lidgett Ln

Lidgett Ln

Lidgett Ln

Lidgett Ln



Lidgett Ln

Lidgett Ln

Lidgett Ln

277 Lidgett Ln

Mini Mermaid Running Club UK

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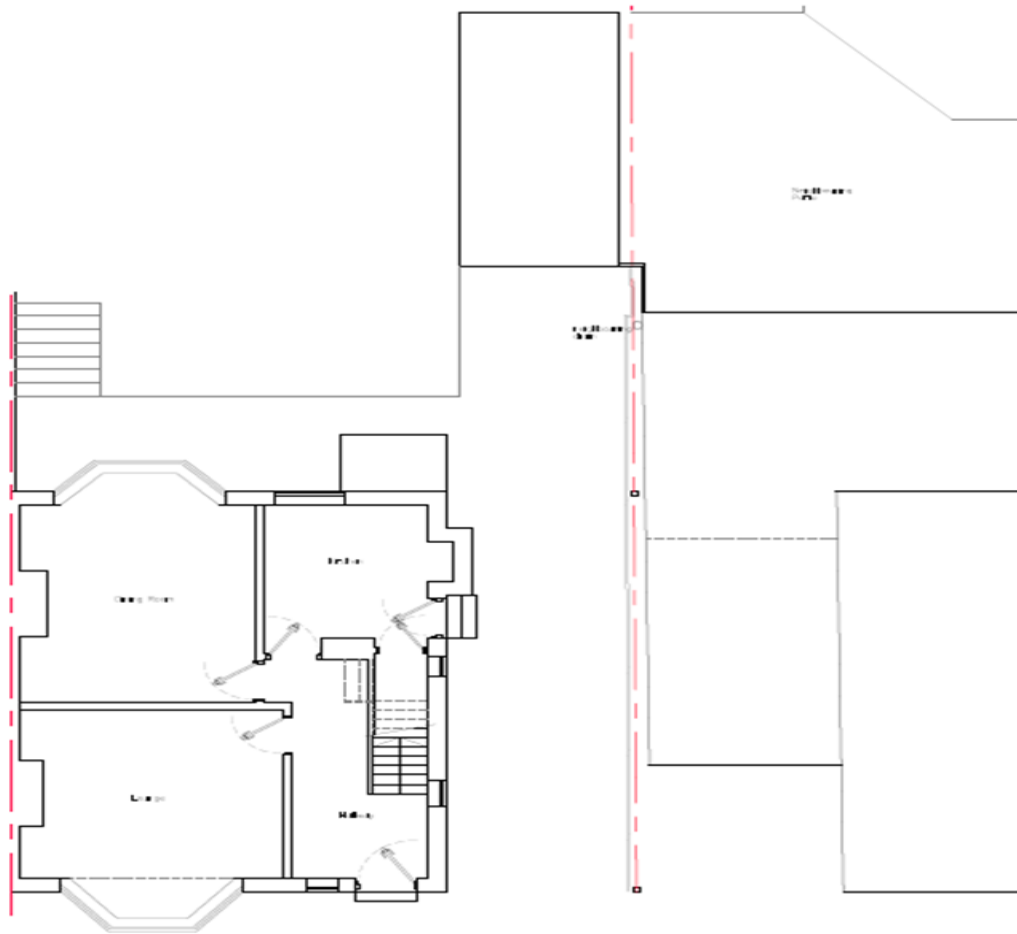




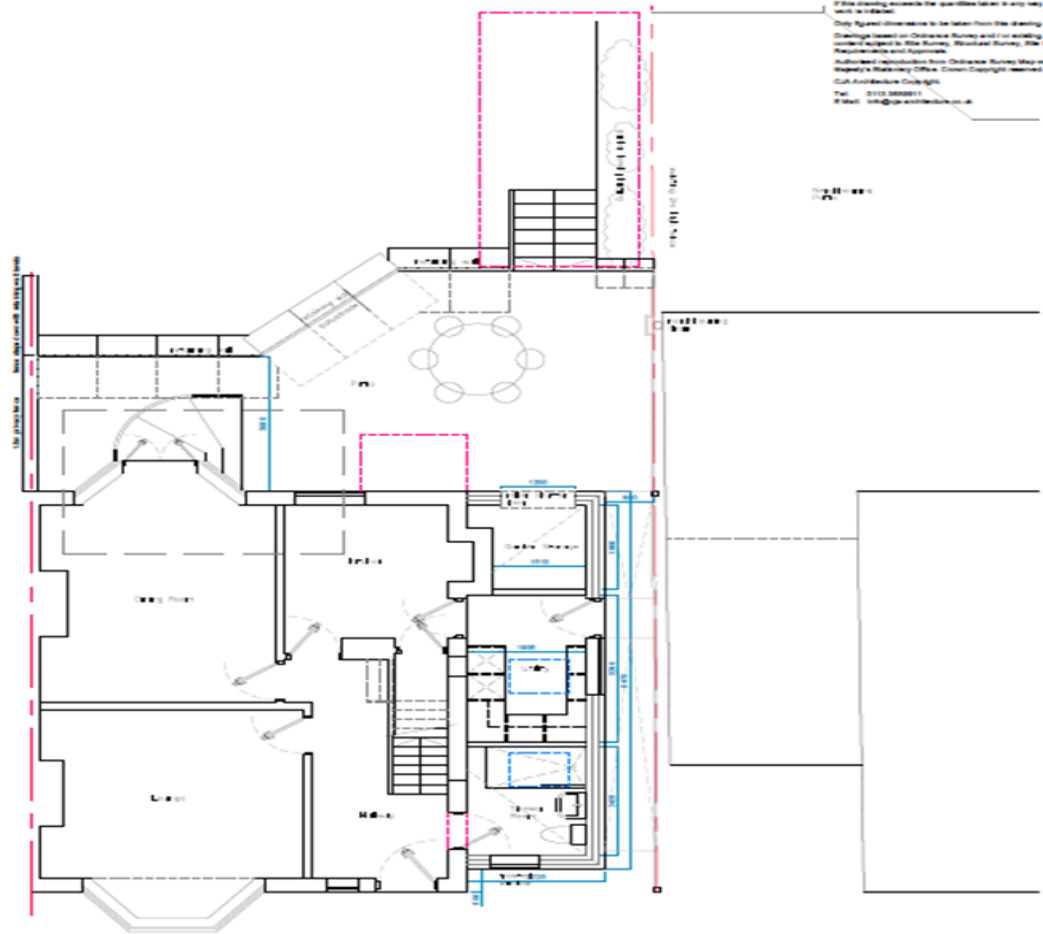




19-33



Existing Ground Floor Plan
1:100



Proposed Ground Floor Plan
1:100

Consider suitability of alterations on site before commencing any work or any change.
If the drawing exceeds the quantities shown in any way the Architects are to be informed before the work is started.
Only agreed alterations to be taken from the drawing.
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CJA Architecture Design
Tel: 0113 3888811
Email: info@cjaarchitecture.co.uk

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ALL WORKS TO BE CARRIED OUT TO THE LATEST BUILDING REGULATIONS, BRITISH STANDARDS AND APPROVED CODES OF PRACTICE.
WHERE FURTHER CLARIFICATION, AMENDMENTS OR ADDITIONAL WORKS ARE REQUIRED CONTRACTORS SHALL REFER TO THE CLIENTS FOR FURTHER DETAILS AND INSTRUCTIONS.
ALL MATERIALS AND DETAILS TO BE PROVIDED BY THE CONTRACTOR FOR CLIENT APPROVAL.

CJA ARCHITECTURE & DESIGN architecture		Project Name single storey side extension	
Client Jess Lennox		Site Existing and Proposed Plans Ground Floor	
Address 277 Lidgett Lane, Leeds, LS17 6PD		Scale 1:100	Date Oct 2023
Project Ref 23013 (PL) 002	Sheet E	Rev A3	Author OB
			Checker CJA

Existing and Proposed Plans (Ground Floor)

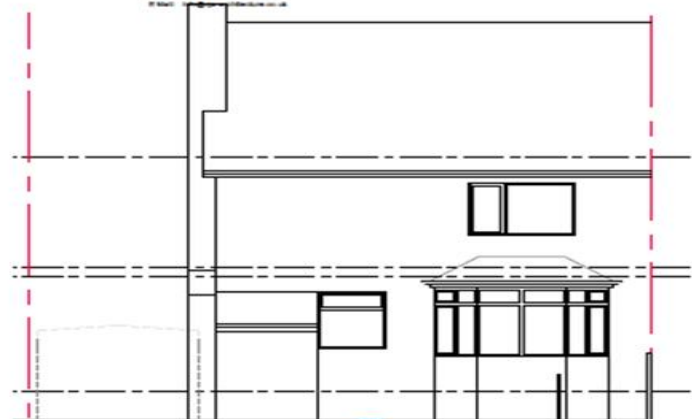
Contractor must verify all dimensions on site before commencing any work on these drawings.
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 Tel: 0113 2855013
 E-Mail: info@cjaarchitecture.co.uk



Existing North (front) Elevation
1:100



Existing West (side) Elevation
1:100



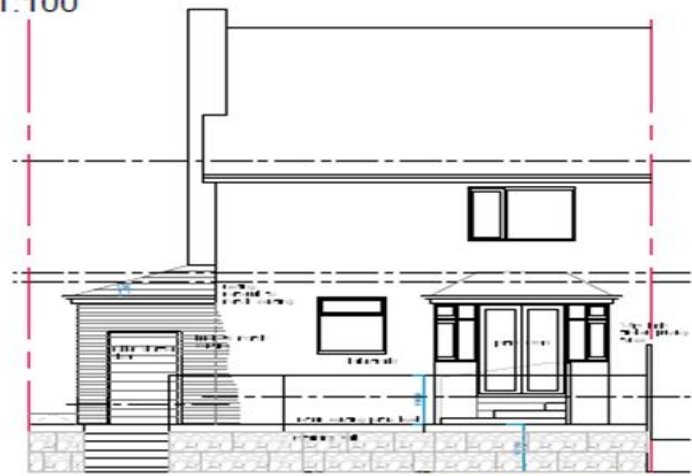
Existing South Elevation
1:100



Proposed North (front) Elevation
1:100



Proposed West (side) Elevation
1:100



Proposed South Elevation
1:100

CJA ARCHITECTURE & DESIGN
architecture

Client Jess Lennox		Project single storey side extension	
The address 277 Lidgett Lane, Leeds, LS17 6PD		Title Existing and proposed elevations	
Drawing No. 23013 (PL)004	Revision F	Sheet No. A3	Date Oct 2023
		Scale 1:100	Author CJA

GENERAL NOTES
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Existing and Proposed Elevations

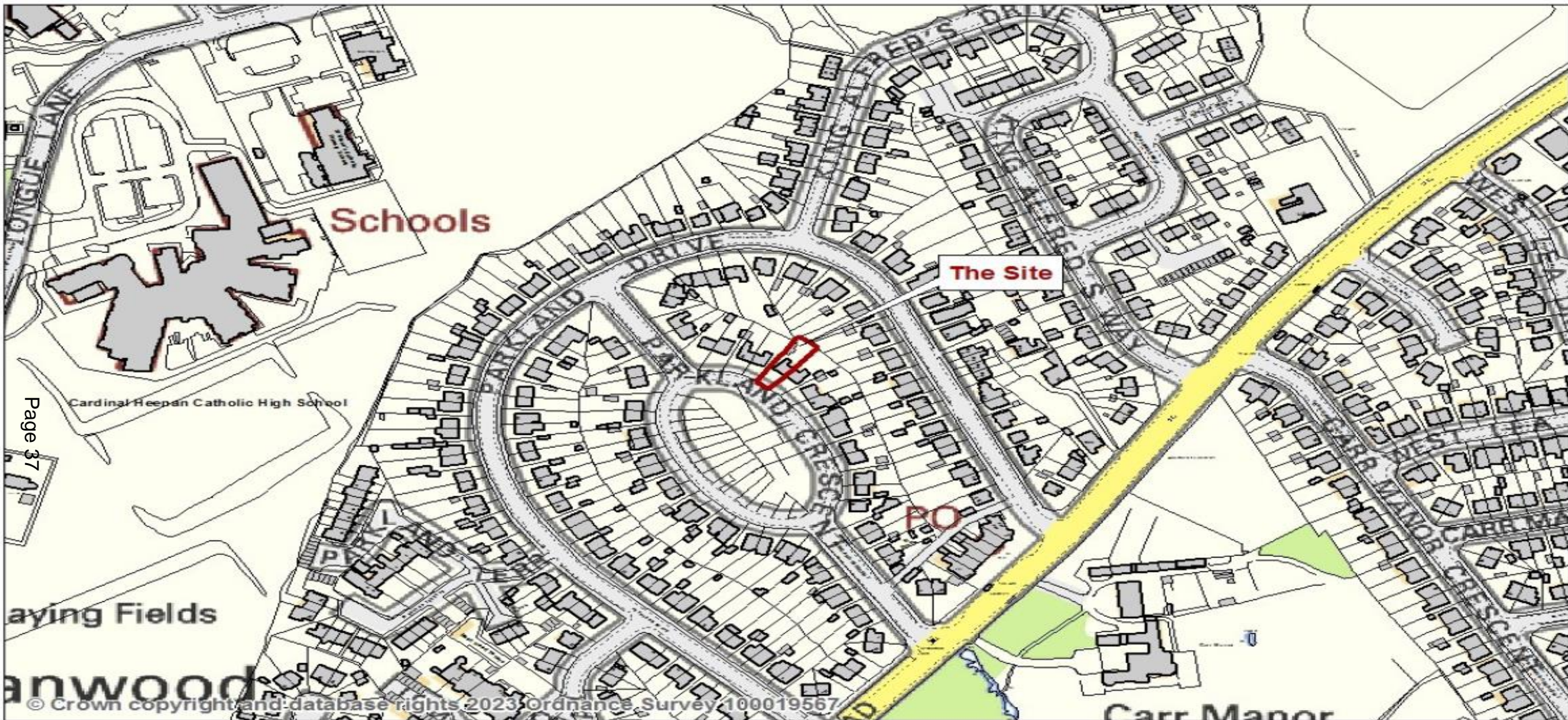
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APPLICATION: 23/05807/FU

PROPOSAL: Part two storey, part single storey side and rear extension

ADDRESS: 36 Parkland Crescent, Meanwood, Leeds, LS6 4PR

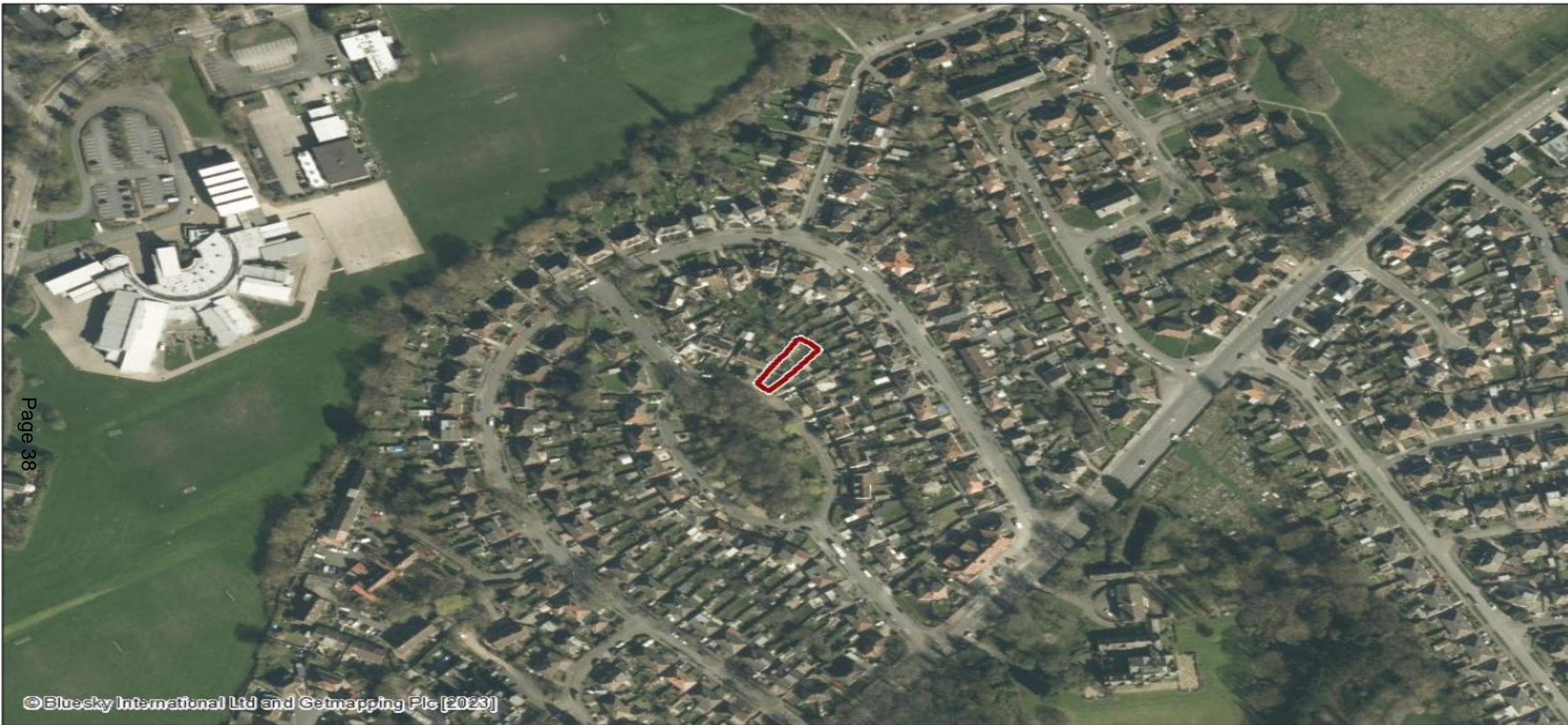




PLANS PANEL PRESENTATION

SCALE 1:2500





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PLANS PANEL PRESENTATION

SCALE 1:2500



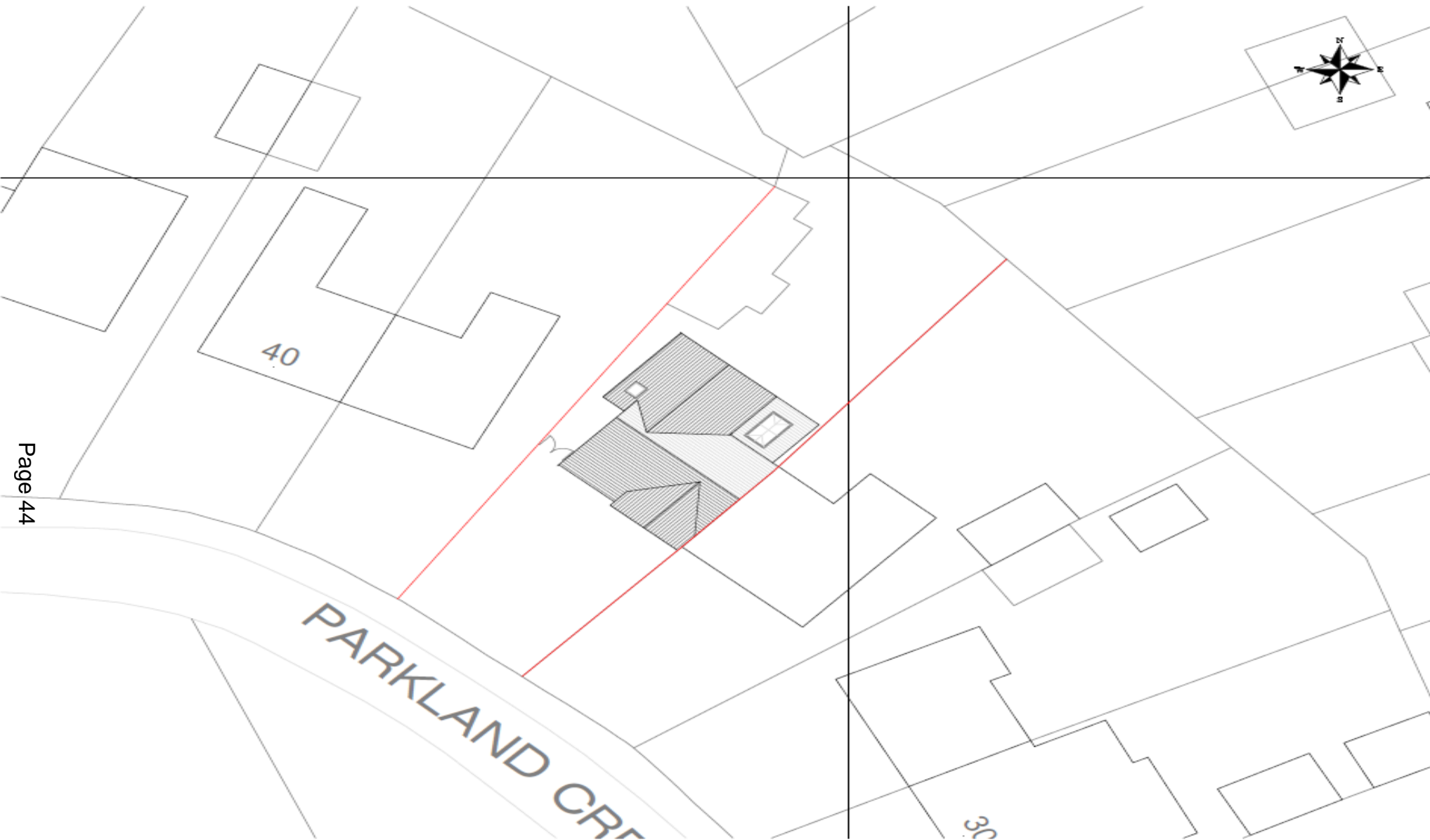












NOTES:
 Sketch schemes may be based on plan information of unknown origin and are subject to Topographical survey, Geotechnical survey, Arboicultural and Ecological survey, Planning, Building Regulations, Highways and other Statutory Authorities.

Structural Elements, including, but not limited to, steel beams, columns, steel and concrete lintels, foundations etc are strictly to structural engineers design and calculation.

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Rev	Date	Description	Initial
CRL architects			

Mistle Lodge
 Woodhouse C/R, Leeds
 LS6 2HF

Tel: 0113 274 2511
 Email: crlarchitects@btconnect.com

Status: Planning

Project:
 80 Parkland Crescent, Moortown, Leeds
 LS6 4PR

Title:
 Proposed Block Plan

Scale: 1:200 @ A3	Drawn by: CDC
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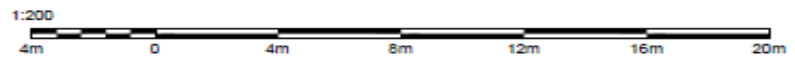
Client: J. Ashton	Checked by: DMC
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Job No: 2005	Drawing No: 008
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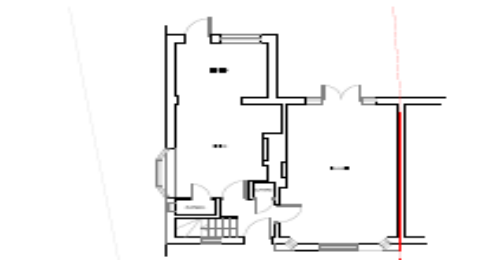
Revision: --	Date: 07.2023
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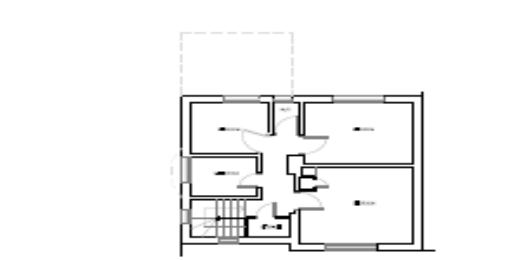
THIS DRAWING MUST NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN AUTHORITY.



NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2010.
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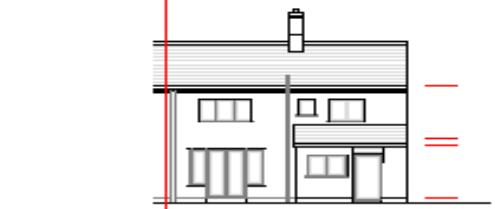
EXISTING GROUND FLOOR PLAN



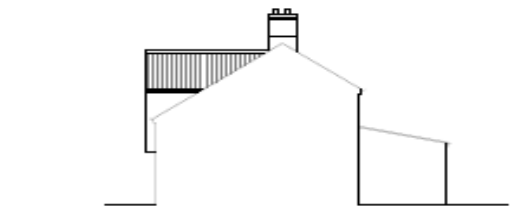
EXISTING FIRST FLOOR PLAN



EXISTING ROOF PLAN



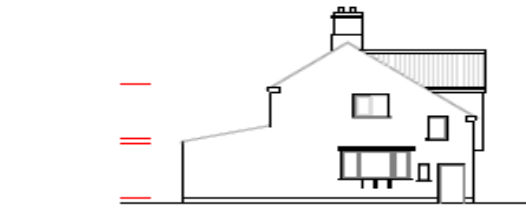
EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION

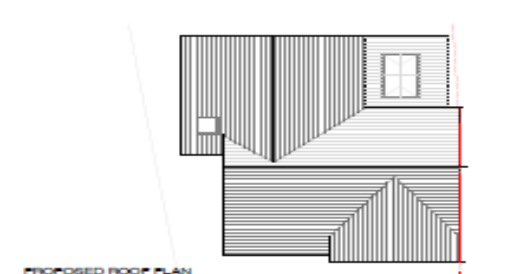
Page 45



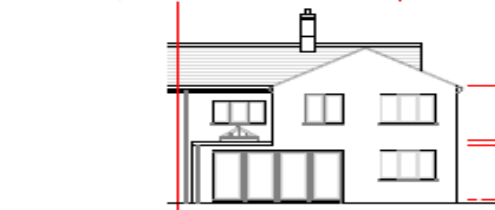
PROPOSED GROUND FLOOR PLAN



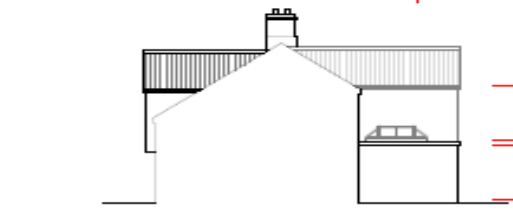
PROPOSED FIRST FLOOR PLAN



PROPOSED ROOF PLAN



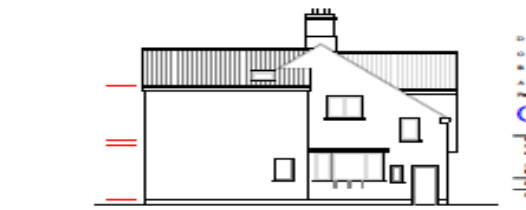
PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION

Rev.	Date	Description	By
01	01/06/2020	Existing floor elevation	000
02	01/06/2020	Existing floor elevation	000
03	01/06/2020	Existing floor elevation	000
04	01/06/2020	Existing floor elevation	000
05	01/06/2020	Existing floor elevation	000
06	01/06/2020	Existing floor elevation	000
07	01/06/2020	Existing floor elevation	000
08	01/06/2020	Existing floor elevation	000
09	01/06/2020	Existing floor elevation	000
10	01/06/2020	Existing floor elevation	000

CRL architects

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 1:100
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 1:100
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 1:100

NORTH & EAST PLANS PANEL

THURSDAY, 16TH NOVEMBER 2023

END OF PRESENTATION

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